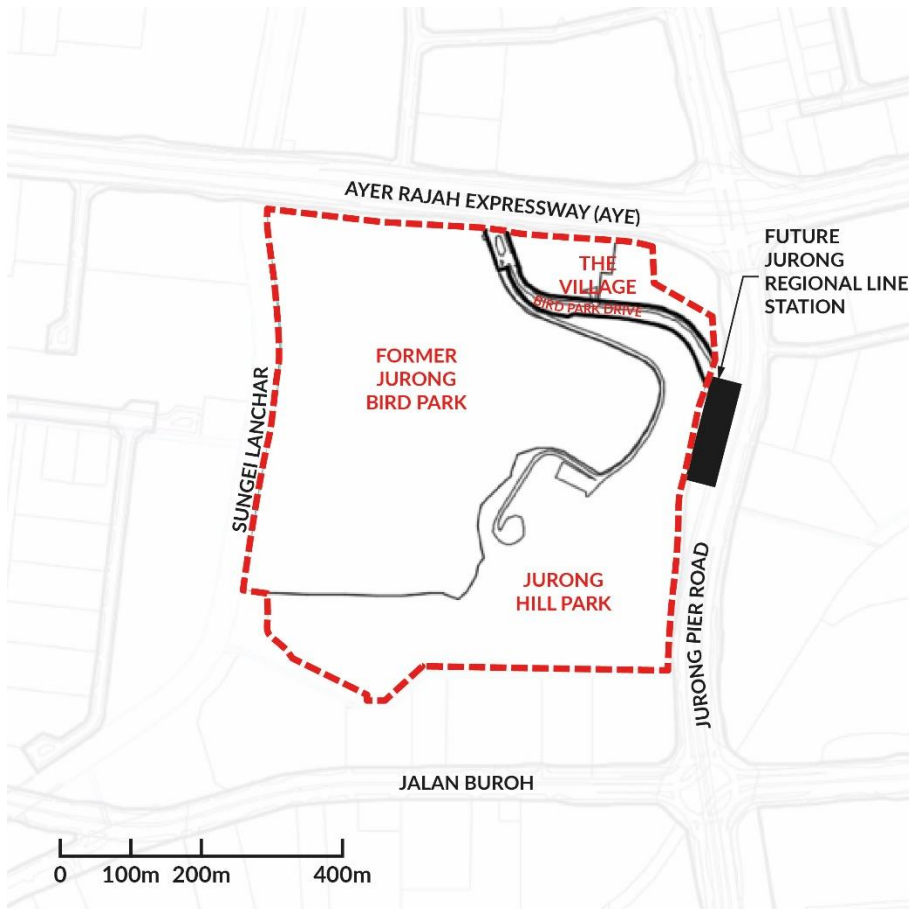


Key parameters of Ideas Competition



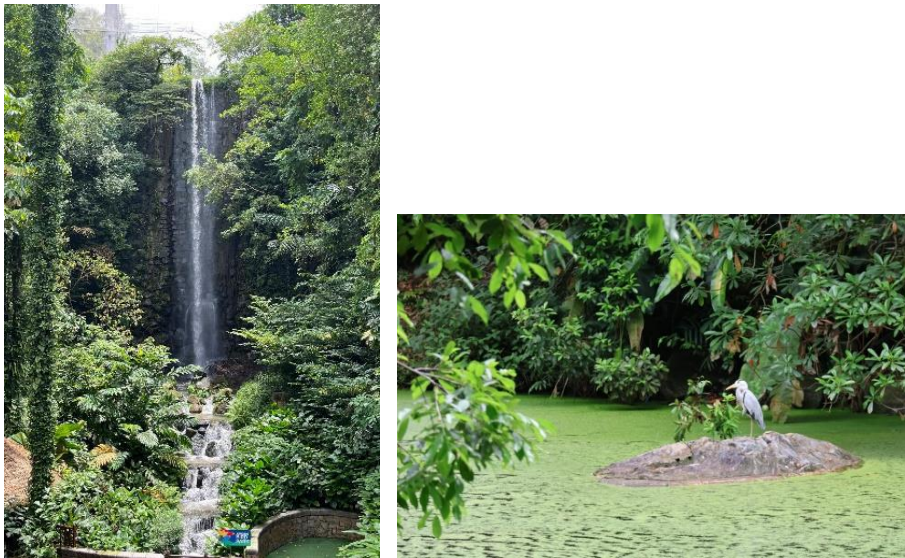
Location plan outlining the ideas competition boundary. Image credit: JTC

Surrounded by industrial land uses and activities, the site comprises the former Jurong Bird Park, Jurong Hill Park, and The Village. The area for the competition spans approximately 39.2ha, bounded by the Ayer Rajah Expressway to the north, Jurong Pier Road to the east, existing industrial developments abutting Jalan Buroh to the south, and Sungei Lanchar to the west.

1. Key features of the former Jurong Bird Park



Pools Amphitheatre (left); Pelican Cove (right). Image credit: JTC



Waterfall Aviary (left); Swan Lake (right). Image credit: JTC



Flamingo Lodge. Image credit: JTC

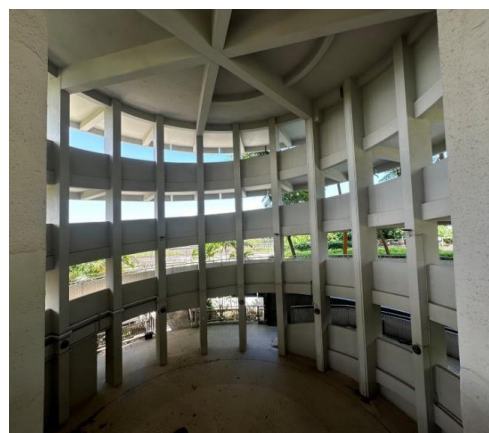
The former Jurong Bird Park, spanning 21.6ha, is situated in the northwestern half of the site. It was developed as an aviary and tourist attraction, providing a green escape within Jurong Industrial Estate, allowing visitors to connect with nature. It was renowned for its large open concept displays resembling the natural habitats of various bird species.

Designed by experts from the London Zoological Society, the park featured iconic attractions such as the Pools Amphitheatre, known for its captivating bird shows, and the Waterfall Aviary, once the world's largest walk-in aviary which housed the 30m high Jurong Falls that was touted as the world's tallest man-made waterfall at the time. The park welcomed its first visitors in January 1971 and operated until 2023 before relocating to Bird Paradise in Mandai.

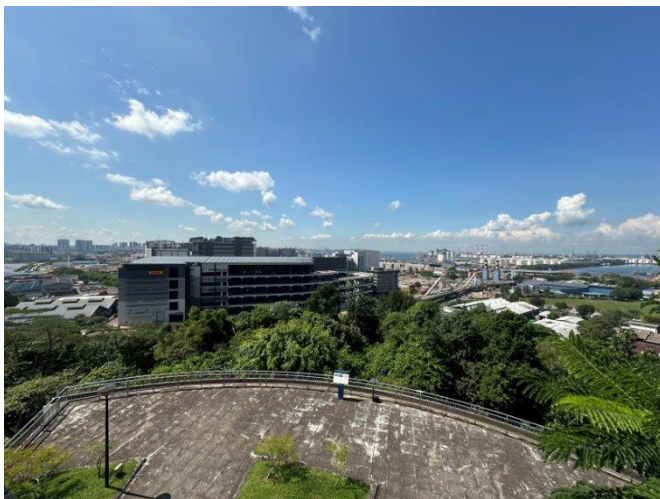
Participants are encouraged to retain and reimagine the 30m high man-made waterfall structure and integrate parts of its surrounding landscaped setting appropriately.

2. Key features of Jurong Hill Park

Jurong Hill Tower



Exterior and interior views of Jurong Hill Tower. Image credit: JTC



Panoramic view of Jurong Industrial Estate from Jurong Hill Tower. Image credit: JTC

Spanning 14ha, Jurong Hill Park is a quaint green node situated in the southeastern half of the site. It was developed as a park in 1970 as part of ongoing efforts to incorporate more amenities and lush greenery into Jurong Industrial Estate. The park is home to the Jurong Hill Tower, which offers panoramic views of the Jurong Industrial Estate. In the early days of the estate's development, foreign dignitaries were often brought to the tower to view Singapore's industrialisation and the rapid transformation of the area.

Garden of Fame



Trees planted by prominent heads of state, foreign dignitaries and VIPs dignitaries in the Garden of Fame. Image credit: JTC



Plaque commemorating Prime Minister of Japan Takeo Fukuda's visit on 15 August 1977. Image credit: JTC

Jurong Hill Park is also home to the first Garden of Fame. Situated next to Jurong Hill Tower, the garden was where prominent heads of state and foreign dignitaries were often invited to plant a tree to commemorate their visits. The tradition began in 1969 with Princess Alexandra of the United Kingdom planting the first tree. The last tree was planted in 1978, with over 30 trees planted by visiting VIPs, each marking their contributions to the park's legacy.

As a prominent landmark, Jurong Hill Park shall be retained for leisure and recreation, along with the plaques and benches from the neighbouring Garden of Fame, as a mark of recognition of the area's industrial past. Proposals from participants should explore how these features can be leveraged vis-à-vis introducing new uses and programmes to make the site more inclusive and vibrant.

3. The Village



Existing commercial development (exterior (left) and interior (right)) at The Village. Image credit: JTC

The Village is a 2.6ha commercial development situated at the northeastern corner of the site, and currently houses retail and F&B outlets. It is located opposite the former Jurong Bird Park at the foot of Jurong Hill and is approximately 700m from an upcoming Jurong Region Line station.

Given its proximity to the future Jurong Region Line station and the relatively flat terrain of the site, intensification of this area can be considered, as long as the concepts are sensitively designed to interface seamlessly with the surrounding areas and greenery. Adaptive reuse of existing buildings with new uses, such as those in The Village, can also be considered.